

SITE PLAN CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS TIFFIN, IOWA

LEGAL DESCRIPTION

WARRANTY DEED BK 3411, PG 1119

A part of the Southwest 1/4 of Section 28, Township 80 North, Range 7 West of the 5th P.M., City of Tiffin, Johnson County, Iowa, and more particularly described as follows: Commencing at the West 1/4 corner of said Section 28; thence S02°42'25"E along the West line of said Southwest 1/4 a distance of 454.95 feet to a right of way line marking the South line of Highway #6 which is the point of beginning of this description; thence S85°10'07"E along said South right of way line a distance of 211.07 feet to a point of curvature; thence Southeastery along said South right of way line a distance of 128.2513 feet radius curve concave Southerly whose 598.30 foot chord bears S85°23'00"E; thence S85°11'00"E along said South right of way line a distance of 736.35 feet to a found iron rod and the South right of way line of Highway #6 and the West line of Auditor's Parcel 96063; thence S01°51'02"E along said West line a distance of 1451.12 feet to a found iron rod and the Southwest corner of said Auditor's Parcel 96063 which is also the Northerly right of way line of Iowa Interstate Railroad; thence S85°10'12"W along said Northerly right of way line a distance of 1571.70 feet to a point on the West line of the Southwest 1/4 of said Section 28; thence N02°42'25"W along the West line a distance of 1715.85 feet to the point of beginning containing 57.5 acres more or less and being subject to all easements and restrictions of record. This real estate also described as Auditor's Parcel 2002077, as recorded in Plot Book 44, at Page 327, of the records of Johnson County, Iowa.

ALSO A WARRANTY DEED, BOOK 3411, PG 1120

Auditor's Parcel No. 96063 as shown by the Plat of Survey thereof recorded in Book 37, at page 181 of the records of Johnson County, Iowa

ALSO A WARRANTY DEED, BOOK 303, PG 443

Commencing at a point on the east line of the southwest quarter of Section 28, Township 80 North, Range 7 West of the 5th P.M., which point is 191.50 feet south of the centerline of U.S. Highway No. 6; thence northwesterly along the existing fence line 181.17 feet to a point 181.50 feet south of the centerline of said Highway; thence north along the existing fence line 105.88 feet to the south right of way line of said Highway; thence northwesterly along said south right of way line 484.04 feet; thence south 1388.62 feet to a point on the north right of way line of the Chicago, Rock Island and Pacific Railroad Company; thence easterly along said north right of way line 716.61 feet; thence north 160 feet; thence east 33 feet to the east line of the southwest quarter of said Section 28; thence north along said east 33 feet to the place of beginning. The grantee will dedicate the South 60 feet of the above described property as a public street or highway.

SAID RESULTANT TRACT CONTAINING 88.64 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
CLEAR CREEK AMANA
COMMUNITY SCHOOL DISTRICT
551 W MARENGO RD
TIFFIN, IOWA 52343

APPLICANT'S ATTORNEY:
CONNOR L. WASSON
100 COURT AVENUE, SUITE 600
DES MOINES, IA 50309

UNDERLYING ZONING: P-1
DEVELOPMENT CONSISTS OF:
SETBACK REQUIREMENTS FOR P-1:
NO REQUIREMENTS
FRONT YARD SETBACK: 20 TO 32 FEET (ADJACENT TO HWY 6)
INTERIOR SIDE YARD SETBACK: NONE
CORNER YARD SETBACK: NONE
REAR YARD SETBACK: 50 FT (ADJACENT TO THE RAILROAD)
NO PARKING PROVIDED

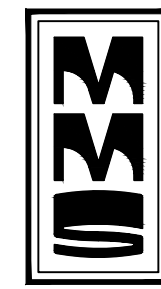
SITE AREA: 3861016 SF (100%)
PAVING AREA(PROP): 4,300 SF

PLAT/PLAN APPROVED
by the
City of Tiffin

Mayor: _____ Date: _____



UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



MMS CONSULTANTS, Inc.
Iowa City, Iowa (319) 351-8282

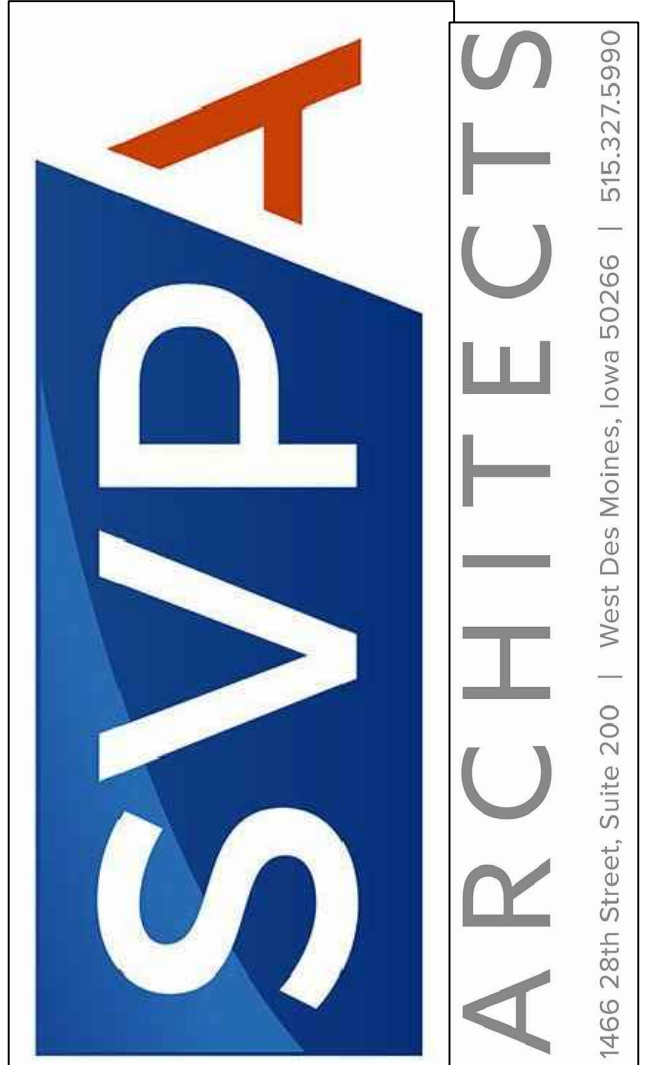
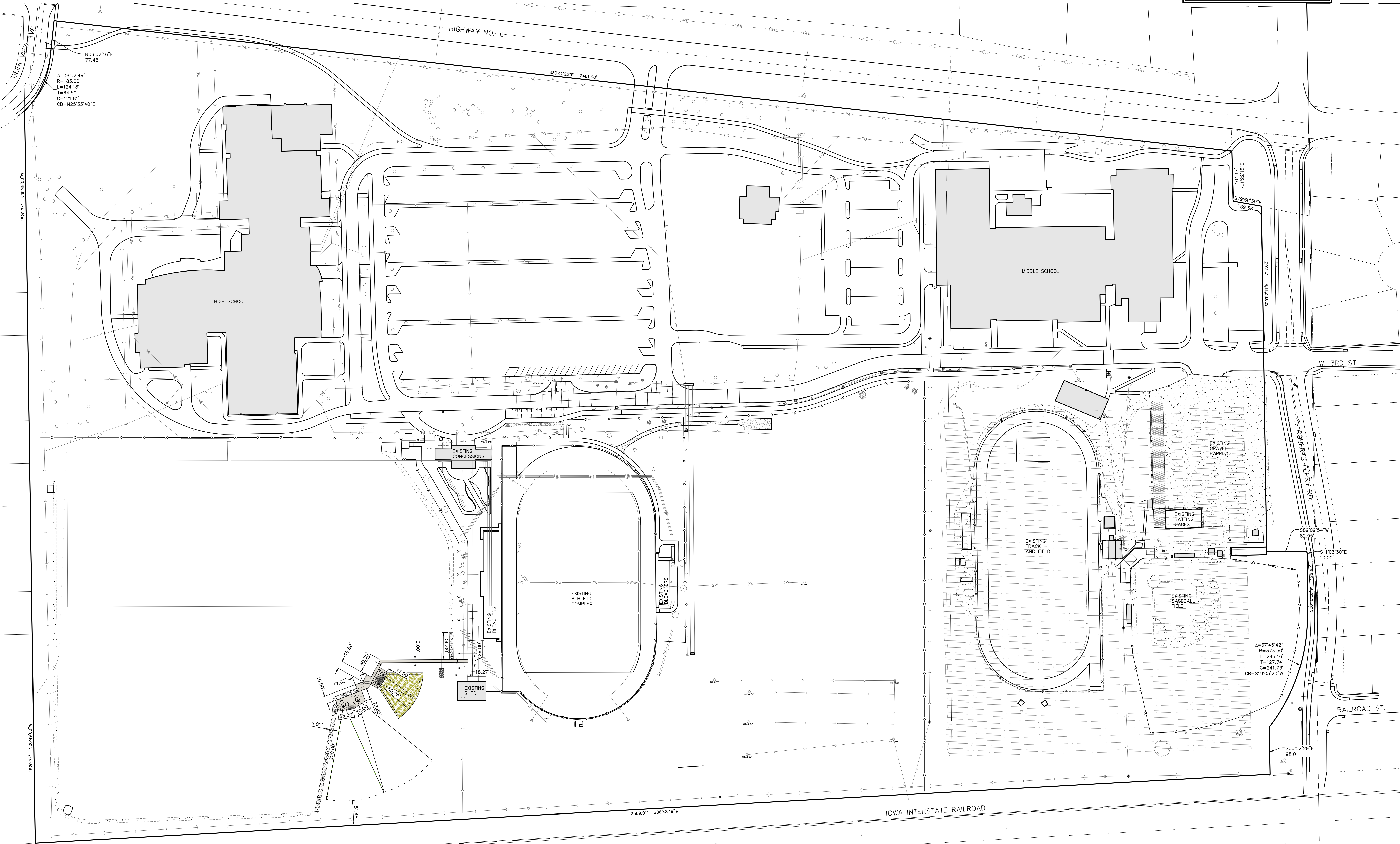
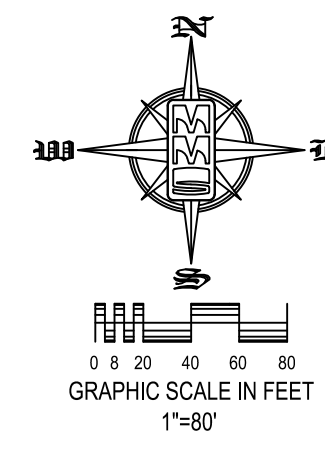
◁ CIVIL ENGINEERS ▷ LAND PLANNERS ▷
◁ LANDSCAPE ARCHITECTS ▷ LAND SURVEYORS ▷
◁ ENVIRONMENTAL SPECIALISTS ▷

CD100 SITE DEMOLITION AND PRE-EROSION CONTROL PLAN
C120 OVERALL LAYOUT AND DIMENSION PLAN
C121 DETAILED LAYOUT, UTILITY, AND DIMENSION PLAN
C140 OVERALL GRADING PLAN AND SWPPP
C141 DETAILED GRADING PLAN
C500 GENERAL NOTES AND DETAILS
L100 SITE LANDSCAPE AND POST-EROSION CONTROL PLAN

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONVEYANCIAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- EXISTING EASEMENT LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- EXISTING POWER POLE
- PROPOSED POWER POLE
- EXISTING POWER POLE W/DROP
- PROPOSED POWER POLE W/DROP
- EXISTING POWER POLE W/TRANS
- PROPOSED POWER POLE W/TRANS
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- EXISTING PROPOSED SANITARY SEWER
- PROPOSED PROPOSED SANITARY SEWER
- EXISTING EXISTING STORM SEWER
- PROPOSED PROPOSED STORM SEWER
- EXISTING WATER LINES
- PROPOSED WATER LINES
- EXISTING ELECTRICAL LINES
- PROPOSED ELECTRICAL LINES
- EXISTING GAS LINES
- PROPOSED GAS LINES
- EXISTING CONTOUR LINES (1' INTERVAL)
- PROPOSED CONTOUR LINES (1' INTERVAL)
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- PROPOSED DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREE & SHRUB
- PROPOSED EVERGREEN TREE & SHRUB

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS

551 W MARENGO ROAD
TIFFIN, IA 52340
ISSUANCE
CONSTRUCTION DOCUMENTS
08/17/2023
REVISIONS

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE ABOVE REFERENCED PROJECT. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE EXPRESS WRITTEN APPROVAL AND PARTICIPATION OF SVPA ARCHITECTS INC. REPRODUCTION IS PROHIBITED.

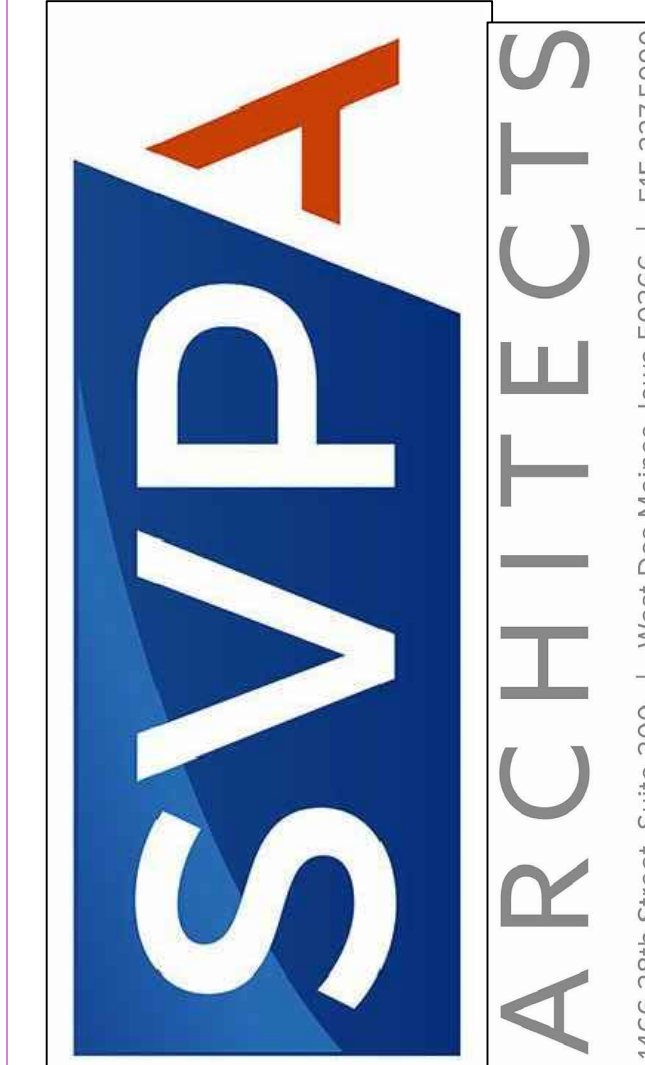
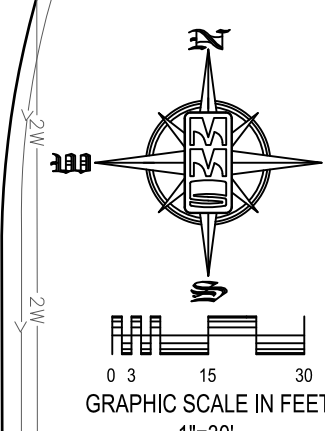
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PROJECT NUMBER
22068
OVERALL SITE LAYOUT AND DIMENSION PLAN
C120

SITE PLAN CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS TIFFIN, IOWA

PLAN PREPARED BY:
 MMS CONSULTANTS INC.
 1917 S. GILBERT STREET
 IOWA CITY, IOWA 52240

OWNER/APPLICANT:
 CLEAR CREEK AMANA
 COMMUNITY SCHOOL DISTRICT
 551 W. MARENGO RD
 TIFFIN, IOWA 52340

APPLICANT'S ATTORNEY:
 CONNER L. WASSON
 100 COURT AVENUE, SUITE 600
 DES MOINES, IA 50309



MMS CONSULTANTS, Inc.
 Iowa City, Iowa (319) 351-8282
 ◀ CIVIL ENGINEERS ▶ LAND PLANNERS ▶
 ◀ LANDSCAPE ARCHITECTS ▶ LAND SURVEYORS ▶
 ◀ ENVIRONMENTAL SPECIALISTS ▶
MMS PROJECT NO. 22068-001
 DESIGNED AND CHECKED BY: LCN
 DRAWN BY: TAY & BSA
 FIELD BOOK NUMBER:

CD100 SITE DEMOLITION AND PRE-EROSION CONTROL PLAN
 C120 OVERALL LAYOUT AND DIMENSION PLAN
 C121 DETAILED LAYOUT, UTILITY, AND DIMENSION PLAN
 C140 OVERALL GRADING PLAN AND SWPPP
 C141 DETAILED GRADING PLAN
 C500 GENERAL NOTES AND DETAILS
 L100 SITE LANDSCAPE AND POST-EROSION CONTROL PLAN

STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS
---	POWER POLE W/DRCP
---	POWER POLE W/TRANS
---	POWER POLE W/AUGHT
---	GUY POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE

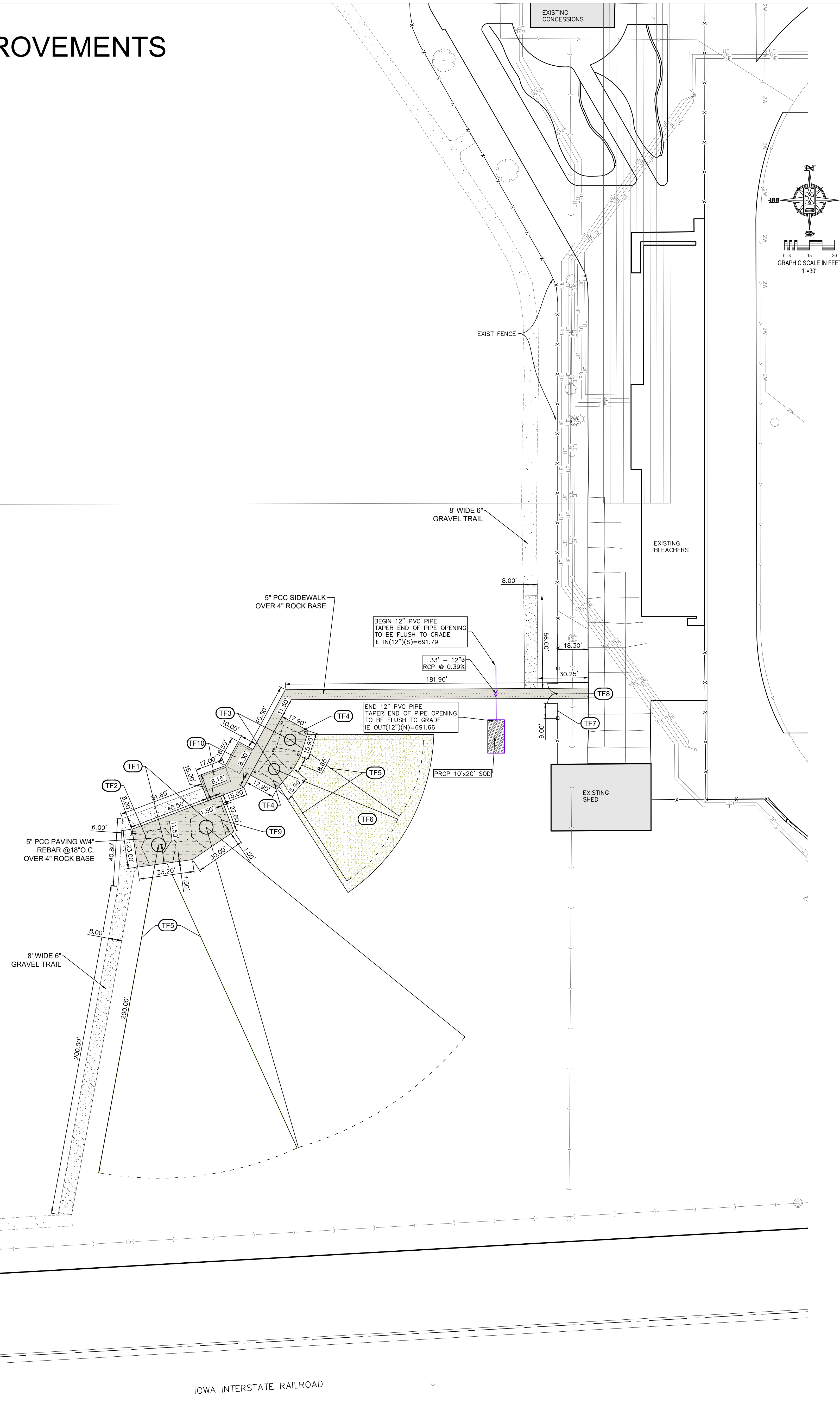
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KEYNOTES

NUMBER	KEYNOTE	DETAIL
TF1	INSTALL DISCUS CAGE. USE EXISTING CAGE NETTING. (USE SALVAGED GROUND SLEEVES, IF DEEMED SALVAGEABLE BY CONTRACTOR)	C500/ 4
TF2	INSTALL DISCUS CAGE. USE EXISTING CAGE NETTING. (USE SALVAGED GROUND SLEEVES, IF DEEMED SALVAGEABLE BY CONTRACTOR)	C500/ 1
TF3	INSTALL SHOT PUT CIRCLE AND SALVAGED TOE BOARDS (TYP. OF 2)	C500/ 2
TF4	FUTURE SHOT PUT CAGE BY OTHERS	
TF5	FUTURE CHALK/PAINT LINES BY OTHERS (TYP.)	
TF6	INSTALL INFIELD MIX (RED BALL DIAMOND AGGREGATE) SEE SPECIFICATIONS.	
TF7	INSTALL 8' HIGH CHAIN LINK FENCE, GALVANIZED.	
TF8	INSTALL 12' WIDE, 4' HIGH CHAIN LINK GATE IN EXIST FENCE ALIGNMENT, GALVANIZED.	C500/ 3
TF9	INSTALL DISCUS CAGE. NEW NETTING CAGE TO MATCH MAKE AND MODEL OF EXISTING CAGE.	C500/ 1
TF10	POSSIBLE BLEACHERS LOCATION. BY OTHERS.	

PAVEMENT LEGEND (BASE BID)

[Pattern]	5" PCC PAVING W/4" REBAR @18" O.C. OVER 4" ROCK BASE. 281 SY.
[Pattern]	5" PCC SIDEWALK OVER 4" ROCK BASE. 217 SY.
[Pattern]	6" GRAVEL SIDEWALK. 307 SY.
[Pattern]	INFIELD MIX. 629 SY.



CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS

551 W MARENGO ROAD
 TIFFIN, IA 52340
 ISSUANCE
CONSTRUCTION DOCUMENTS
 08/17/2023
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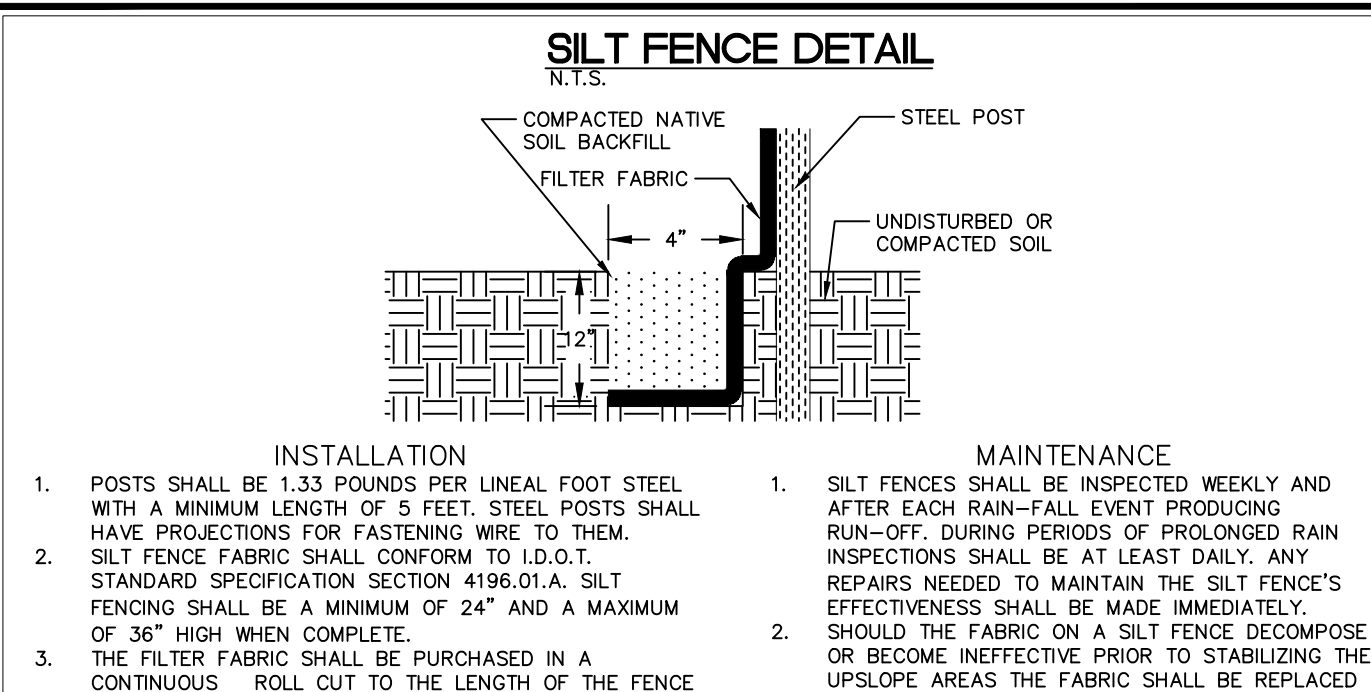
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 PROJECT NUMBER
22068
DETAILED LAYOUT, UTILITY AND DIMENSION PLAN
C121

CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS

TIFFIN, IOWA

EROSION CONTROL LEGEND

- SILT FENCE/FILTER SOCK
- LIMITS OF DISTURBED AREA
- TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
- TEMPORARY PARKING AND STORAGE
- CONCRETE TRUCK/EQUIPMENT WASHOUT
- PORTABLE RESTROOM
- DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- FILTER SOCK INLET PROTECTION
- FILTER SOCK BEHIND CURB AT CURB RAMP



GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 88.44 ACRES
TOTAL AREA TO BE DISTURBED: 2.06 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INAKE ADJACENT TO THE SITE.

EROSION CONTROL MEASURES, INCLUDING, BUT NOT LIMITED TO, TEMPORARY ROCK CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AND TEMPORARY PARKING AND STORAGE AREAS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9040 SUDAS STANDARD SPECIFICATIONS.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES

COMMON NAME	APPLICATION RATE lb/acre
ANNUAL RYEGRASS	40
DATS*	65
ANNUAL RYEGRASS	50
DATS*	95
ANNUAL RYEGRASS	40
GRAIN RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.
FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)

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- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- 22-1
- 22-1
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- CUT POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
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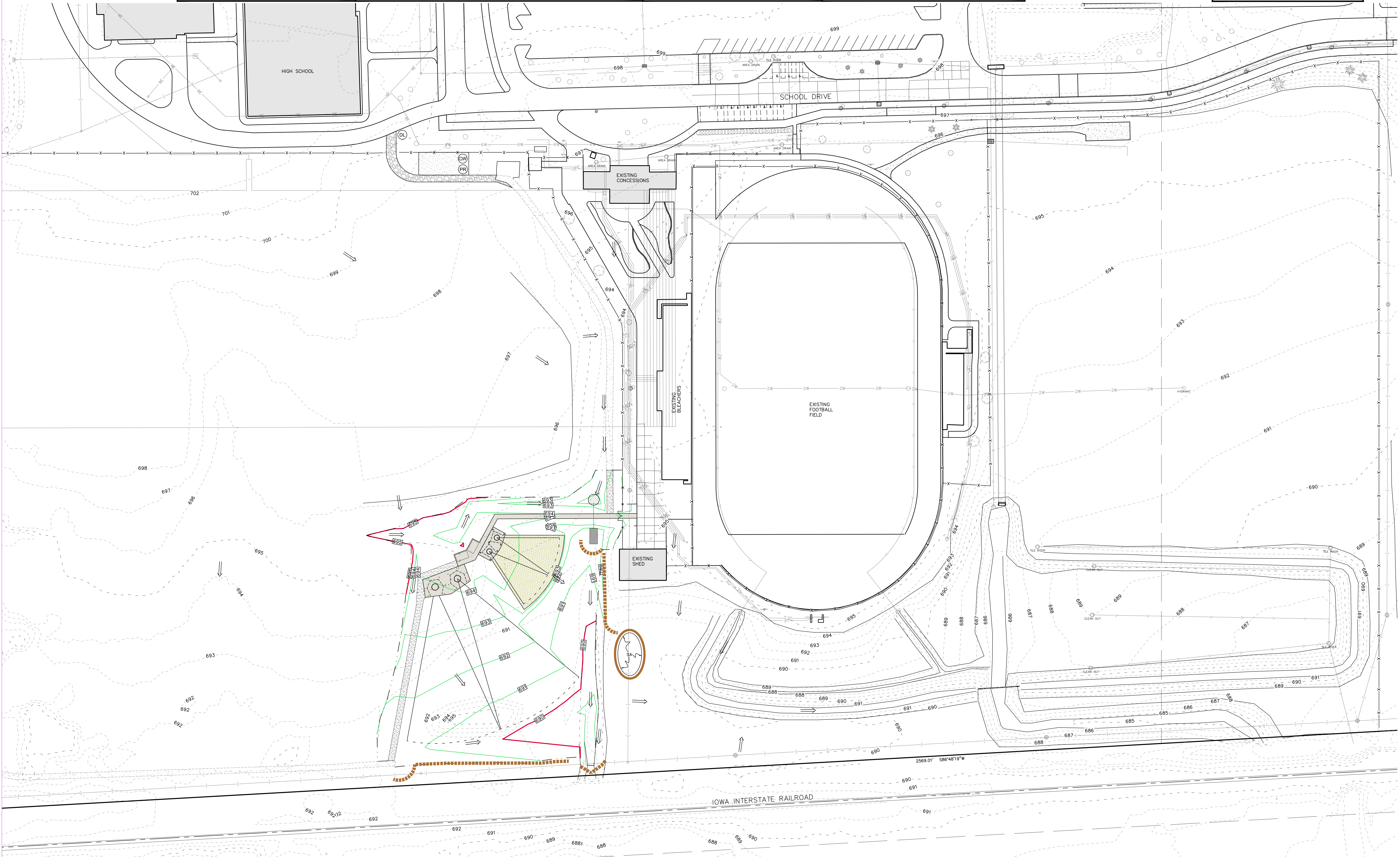
MMS CONSULTANTS, Inc.

Iowa City, Iowa (319) 351-8282

- CIVIL ENGINEERS
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- ENVIRONMENTAL SPECIALISTS

SOIL QUALITY RESTORATION NOTES

- UPON COMPLETION OF SITE GRADING AND CONSTRUCTION ACTIVITIES, THE AREA WHERE SOIL IS TO BE AMENDED SHOULD BE INSPECTED. THE SURFACE SHOULD BE FREE OF ANY DEBRIS AND STONES LARGER THAN 2" DIAMETER. REMOVE SMALLER ROCKS OR GRAVEL IF THEY DENSELY COVER THE SURFACE IN A GIVEN AREA.
- SPREAD 2 INCHES OF COMPOST PRIOR TO TILLAGE.
- SPREAD 1 INCH OF WASHED CONCRETE SAND PRIOR TO TILLAGE.
- INCORPORATE COMPOST AND SAND THROUGH TILLAGE TO A MINIMUM DEPTH OF 8 INCHES.



SWPA ARCHITECTS

1465 28th Street, Suite 200 | West Des Moines, Iowa 50266 | 515.327.9590

BAKER RHODES
Engineering

ENGINEERS

MMS CONSULTANTS, INC.

CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS

551 W MARENGO ROAD
TIFFIN, IA 52340

ISSUANCE

CONSTRUCTION DOCUMENTS
08/17/2023

REVISIONS

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PROJECT NUMBER
22068

OVERALL GRADING PLAN AND SWPPP

C140

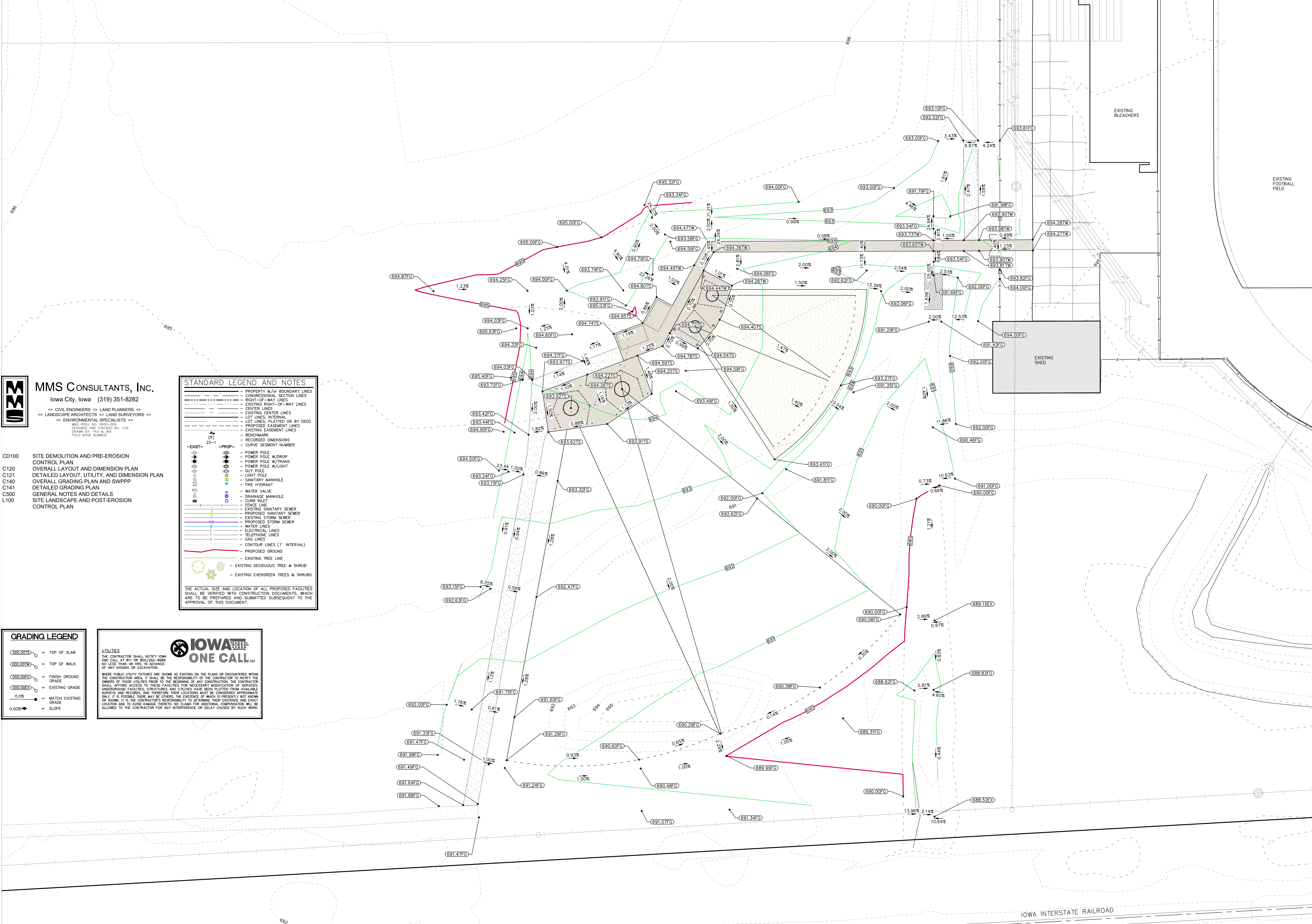
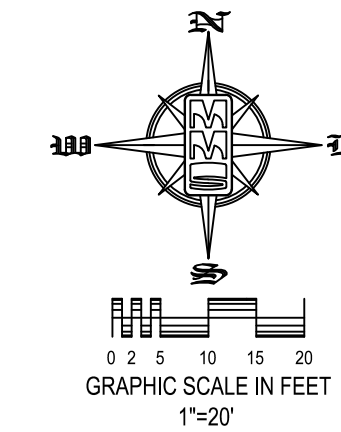
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SITE PLAN CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS TIFFIN, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
CLEAR CREEK AMANA
COMMUNITY SCHOOL DISTRICT
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APPLICANT'S ATTORNEY:
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100 COURT AVENUE, SUITE 600
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◄ LANDSCAPE ARCHITECTS ◄ LAND SURVEYORS ◄
◄ ENVIRONMENTAL SPECIALISTS ◄

MMS PROJ. NO. 2020-009
DESIGNED AND CHECKED BY: LCN
DRAWN BY: TAV & JRA
FIELD BOOK NUMBER:

STANDARD LEGEND AND NOTES	
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- L100 SITE LANDSCAPE AND POST-EROSION CONTROL PLAN

GRADING LEGEND	
---	TOP OF SLAB
---	TOP OF WALK
---	FINISH GROUND GRADE
---	EXISTING GRADE
0.0%	MATCH EXISTING GRADE
---	SLOPE

IOWA ONE CALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FUTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIM FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

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1465 28th Street, Suite 200 | West Des Moines, Iowa 50266 | 515.327.9590

REAKER RHODES Engineering ENGINEERS
MMS Consultants, Inc.

CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS

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ISSUANCE
CONSTRUCTION DOCUMENTS
08/17/2023

REVISIONS

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PROJECT NUMBER
22068
DETAILED GRADING PLAN
C141

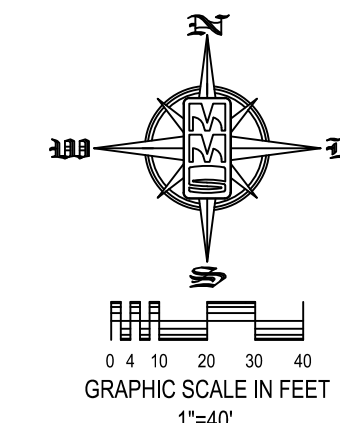
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SITE PLAN CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS TIFFIN, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS, INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
CLEAR CREEK AMANA
COMMUNITY SCHOOL DISTRICT
551 W. MARENGO RD
TIFFIN, IOWA 52340

APPLICANT'S ATTORNEY:
CONNOR L. WASSON
100 COURT AVENUE, SUITE 600
DES MOINES, IA 50309



MMS CONSULTANTS, INC.

Iowa City, Iowa (319) 351-8282

◀ CIVIL ENGINEERS ▶ LAND PLANNERS ▶
◀ LANDSCAPE ARCHITECTS ▶ LAND SURVEYORS ▶
◀ ENVIRONMENTAL SPECIALISTS ▶
MMS PROJ. NO. 2003-009
ISSUED AND CHECKED BY: LCN
DRAWN BY: JAY & BOB
FIELD BOOK NUMBER:

CD100 SITE DEMOLITION AND PRE-EROSION CONTROL PLAN
C120 OVERALL LAYOUT AND DIMENSION PLAN
C121 DETAILED LAYOUT, UTILITY, AND DIMENSION PLAN
C140 OVERALL GRADING PLAN AND SWPPP
C141 DETAILED GRADING PLAN
C500 GENERAL NOTES AND DETAILS
L100 SITE LANDSCAPE AND POST-EROSION CONTROL PLAN

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES.
TABLE 9010.06: TYPE 4 SEED MIXTURE

COMMON NAME	APPLICATION RATE lb/acre
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRASS RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.
FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)

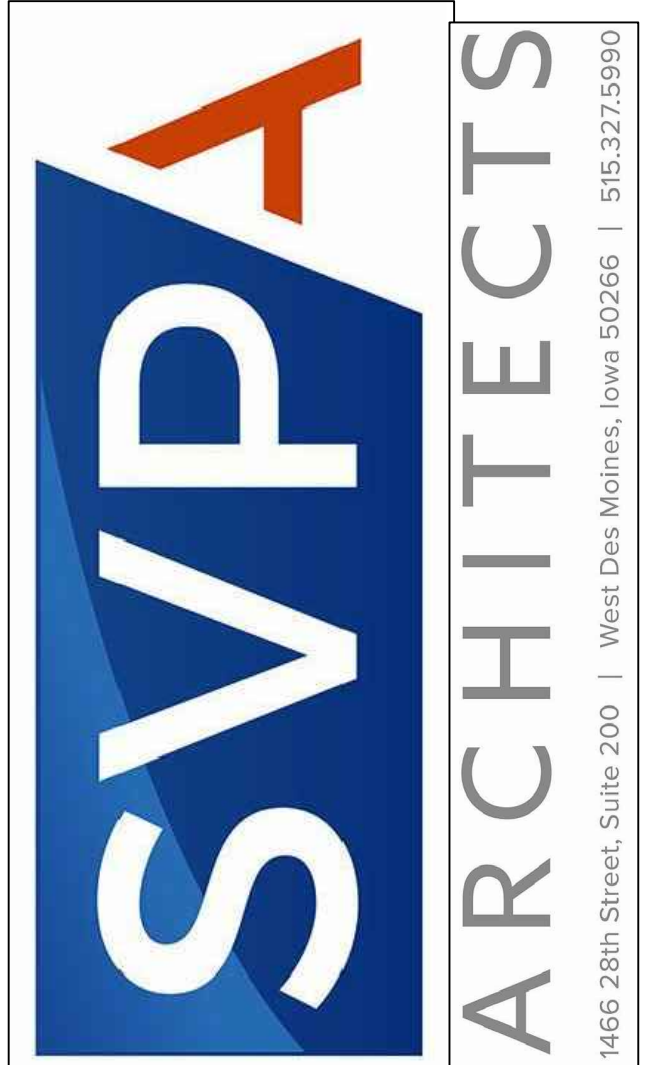
VEGETATION PLAN LEGEND

(FINAL SITE RESTORATION)

- LAWN AREAS, BASIS OF DESIGN - D&K IGNITION LAWN MIX. (7 LB/1000 SF) VERIFY A MINIMUM OF 6" TOPSOIL OVER ALL DISTURBED AREAS.
- SOD

IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/252-8888 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ONLY IF IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



CLEAR CREEK AMANA DISCUS AND SHOT PUT IMPROVEMENTS

551 W MARENGO ROAD
TIFFIN, IA 52340

ISSUANCE
CONSTRUCTION DOCUMENTS
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SITE LANDSCAPE AND POST-EROSION CONTROL PLAN

L100

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